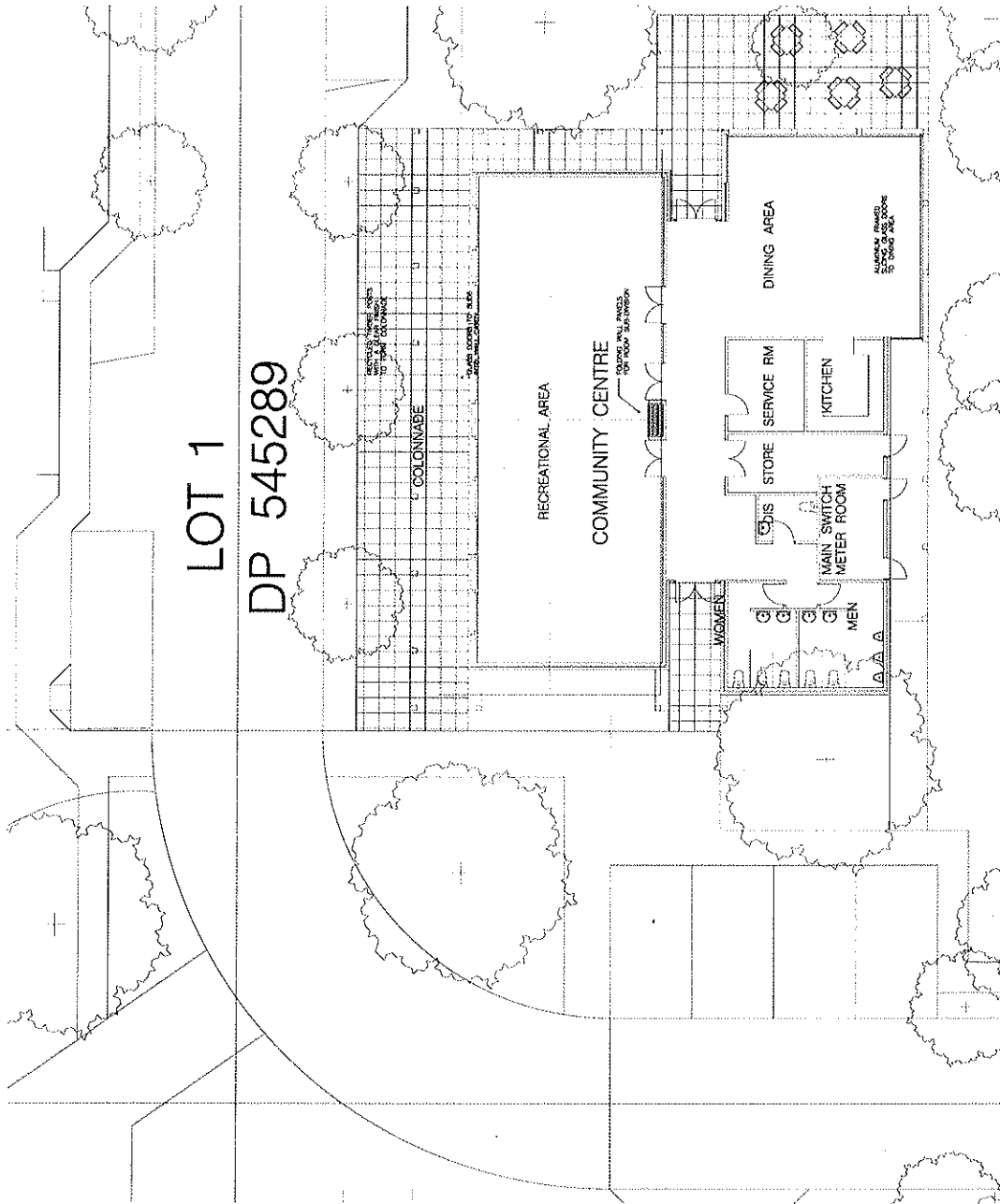


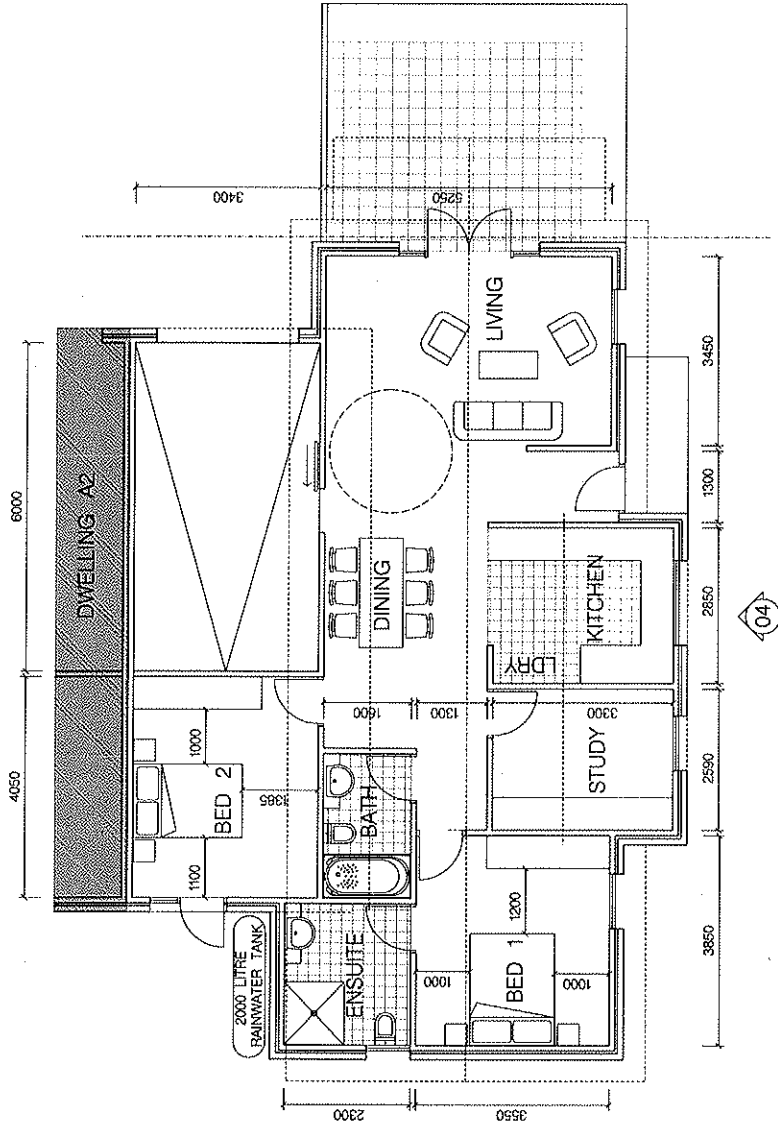
ELEVATIONS
GALSTON GRANGE
392 GALSTON ROAD
GALSTON

COMMUNITY CENTRE
DA-17
SCALE 1:100 (A3) 1:200 (A4)
DATE 12 JULY 2010
DRAWN MA

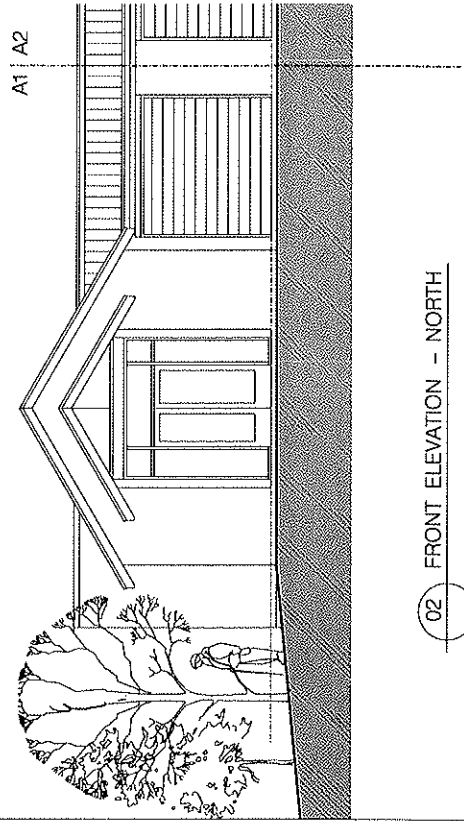
Architecture Planning Urban Design
L7 90 Pitt Street Sydney NSW 2000
TEL 9223 0280 FAX 9223 0283
mail@arcarchitects.com.au

arc
architects





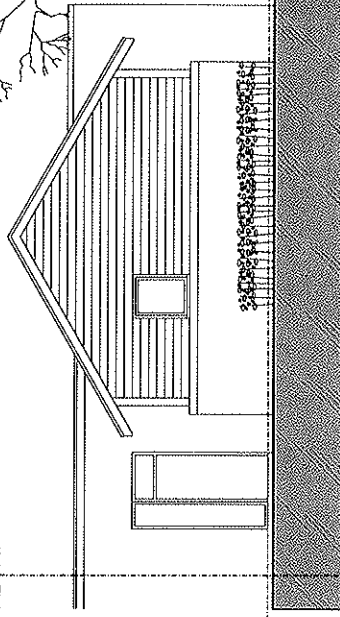
01 FLOOR PLAN - A1



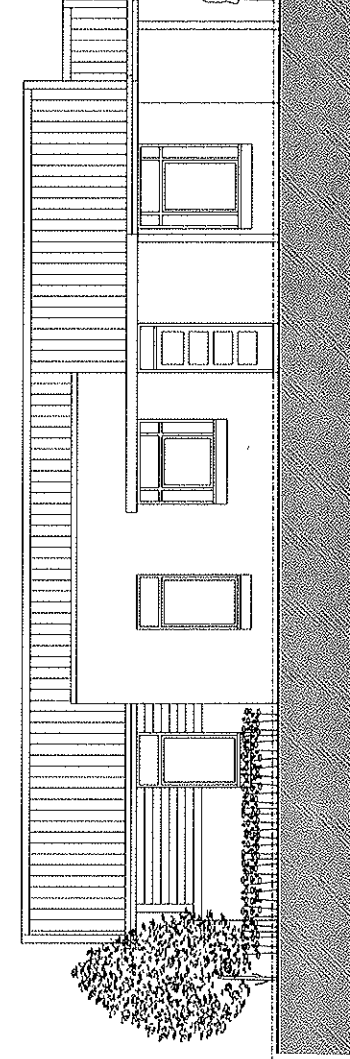
02 FRONT ELEVATION - NORTH



A2 | A1



03 REAR ELEVATION - SOUTH



04 SIDE ELEVATION - EAST

BASIX COMMITMENTS

ATTACHED DWELLINGS - N. 39, 41, 43, 45

WATER OPTIONS

FIXTURES
shower-tracks - 3 star rated
toilet flushing system - 4 star rated
Kitchen taps /bathroom - 5 star rated
LANDSCAPE
indigenous species

ENERGY COMFORT

HOT WATER
individual solar (electric boosted)
BATHROOM
natural ventilation
KITCHEN /LAUNDRY
individual fan, ducted manual on /off
LIVING /BEDROOM
air conditioning
cooling /heating - 4 star

THERMAL COMFORT

required ceiling insulation = R 2.0
required glazing windows 3mm clear
U ≤ 6.57 and SHGC = 0.74 ± 10%

INTERNAL FLOOR AREA 98.46 sqm

ISSUE FOR DA SUBMISSION

HOUSE PLAN, ELEVATIONS

GALSTON GRANGE

392 GALSTON ROAD

GALSTON

DWELLING A1

DA-30

1100 (A3)

DATE: JULY 2010

DRAWN: MA

Architecture Planning Urban Design

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BASIX COMMITMENTS

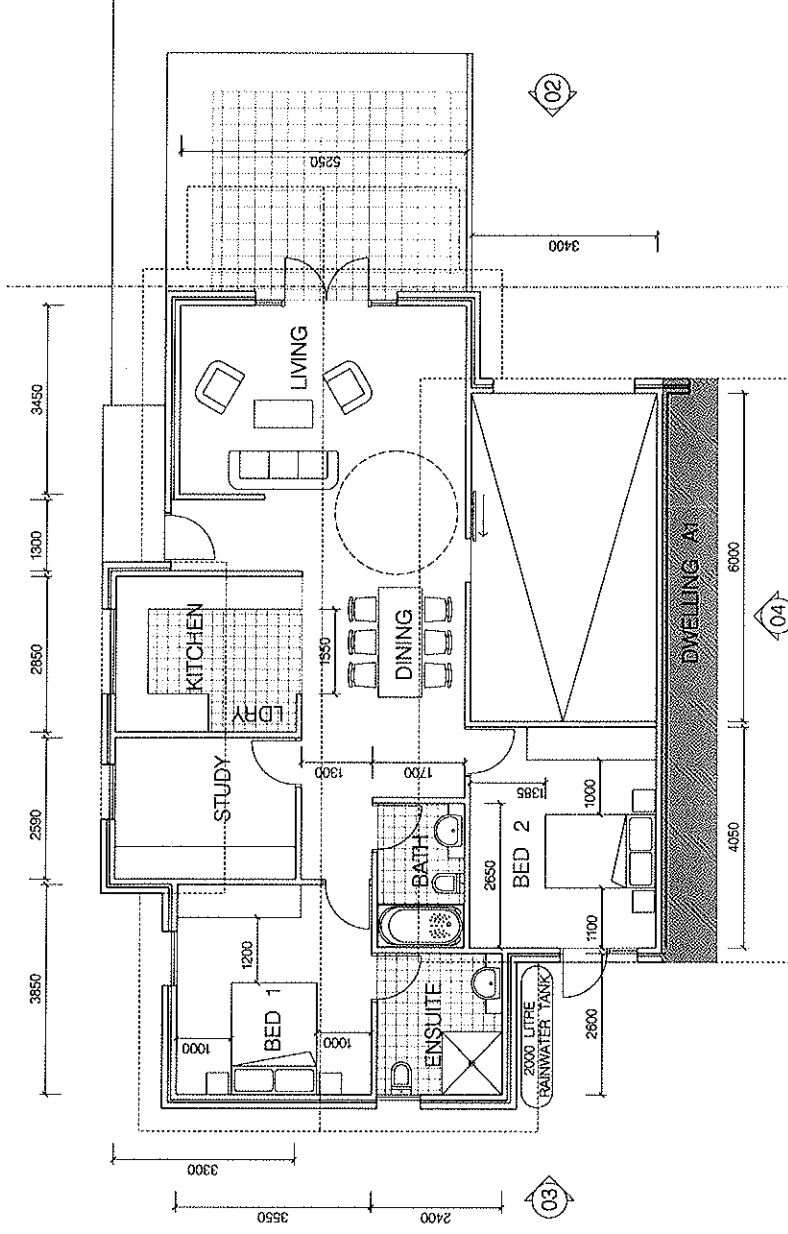
ATTACHED DWELLINGS - N. 38, 40, 42, 44

WATER OPTIONS

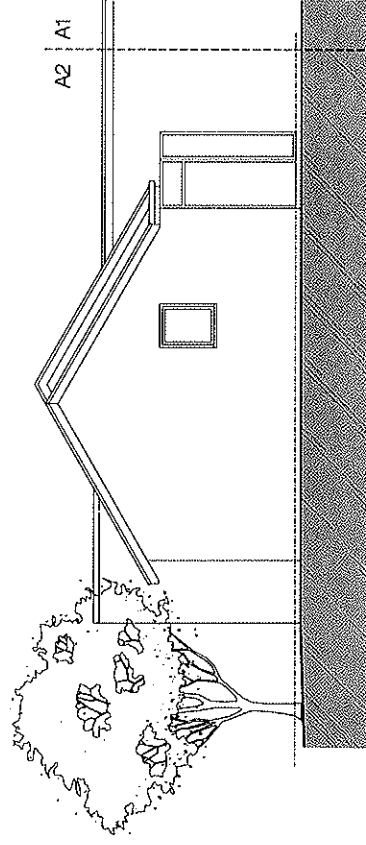
FIXTURES
shower-heads - 3 star rated
toilets flushing system - 4 star rated
kitchen taps / bathroom - 5 star rated
LANDSCAPE
indigenous species

ENERGY COMFORT
HOT WATER
individual solar (electric boosted)
BATHROOM
natural ventilation
KITCHEN / LAUNDRY
individual fan, ducted manual on / off
LIVING / BEDROOM
air conditioning
cooling / heating - 4 star

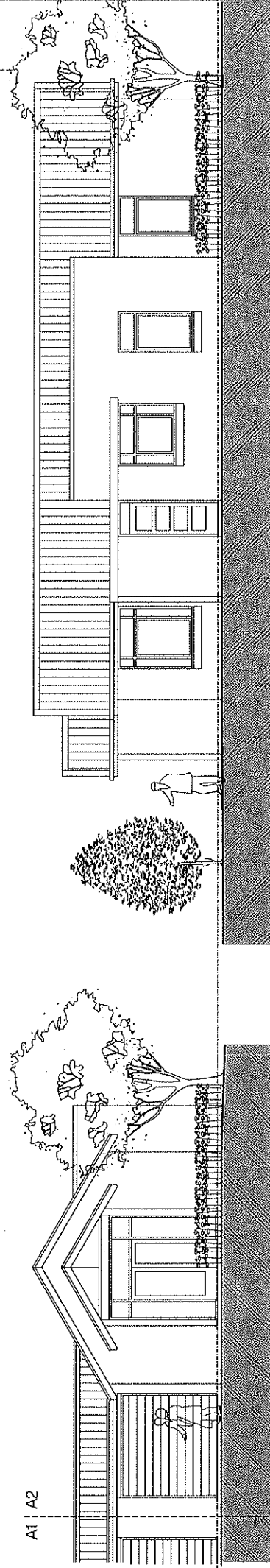
INTERNAL FLOOR AREA 98.46 sqm



01 FLOOR PLAN - A2



03 REAR ELEVATION - SOUTH



02 FRONT ELEVATION - NORTH

04 SIDE ELEVATIONS - WEST

ISSUE DOR DA SUBMISSION

HOUSE PLANS, ELEVATIONS

GALSTON GRANGE

392 GALSTON ROAD

GALSTON

DWELLING A2

DA-31

1100 A33

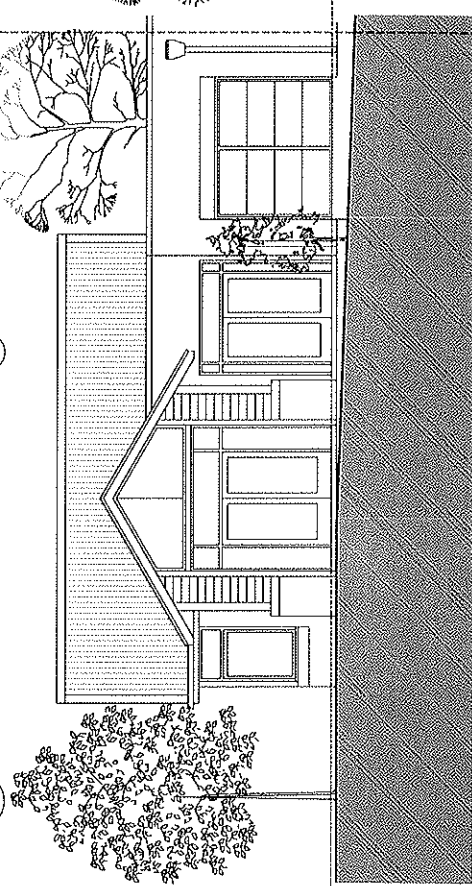
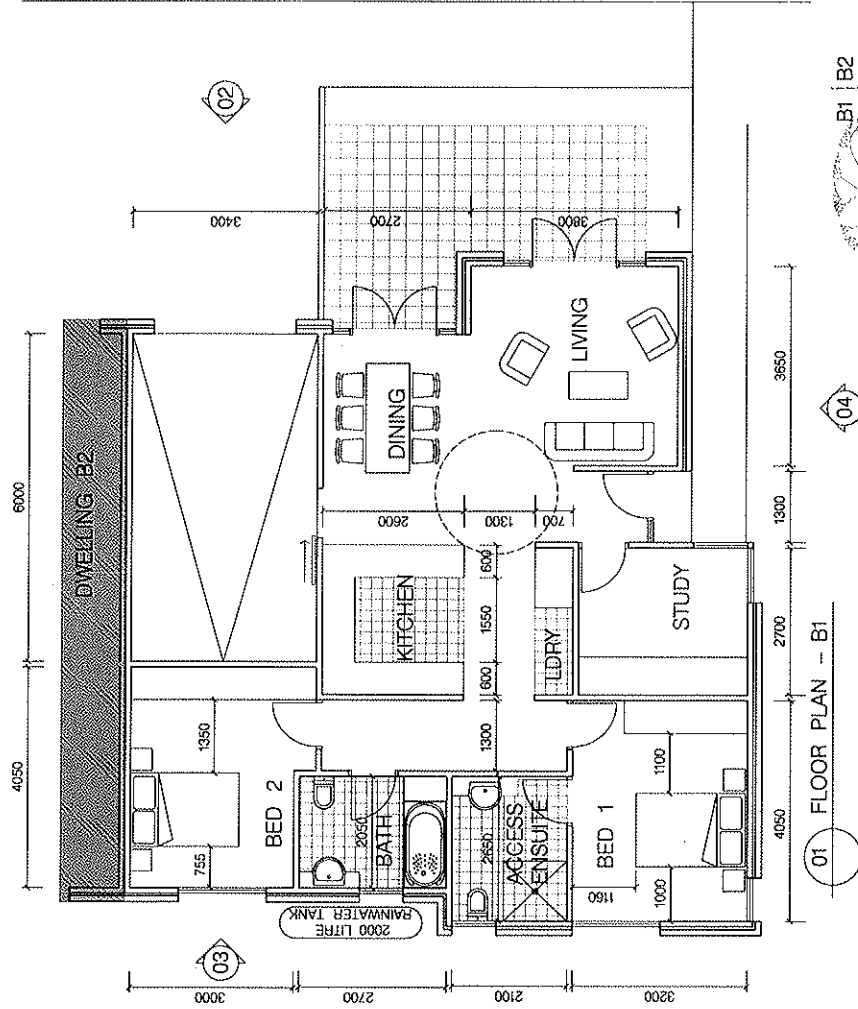
DATE

Architecture Planning Urban Design

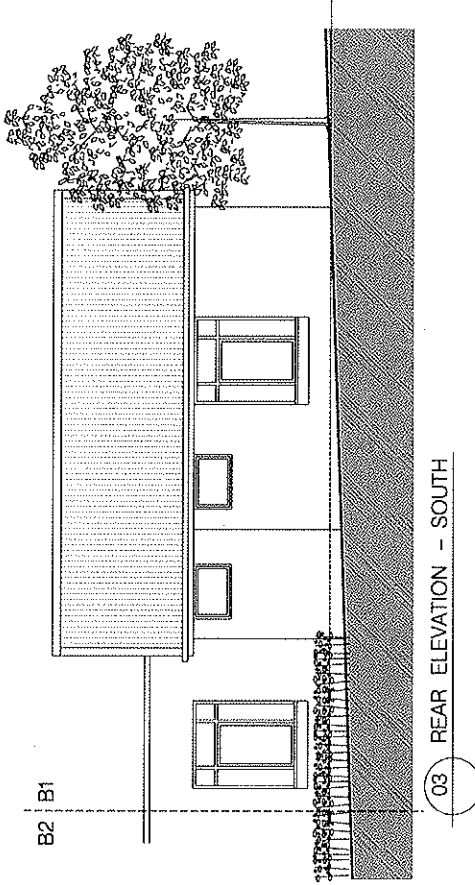
L7 90 Pitt Street Sydney NSW 2000

TEL 9223 0280 FAX 9223 0283

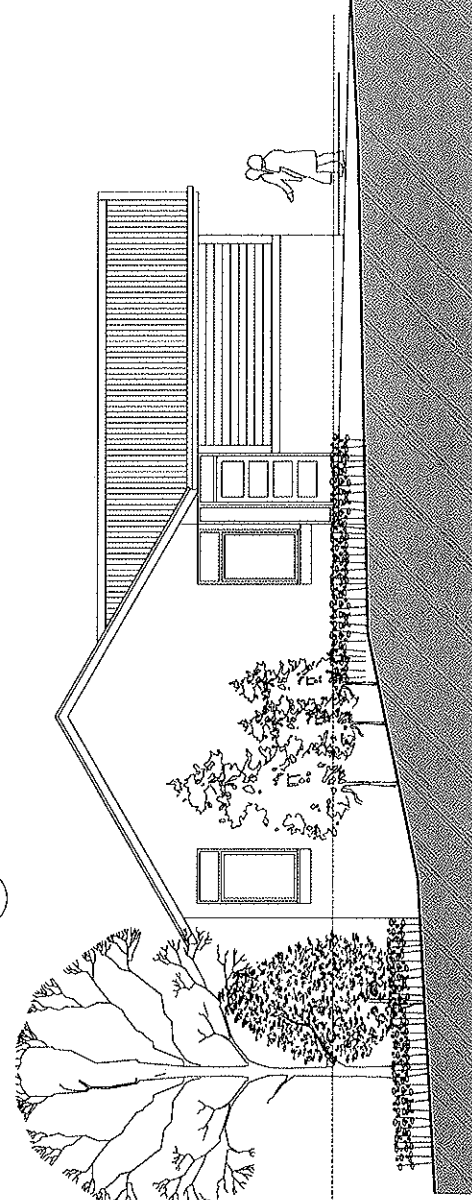
mail@arcarchitects.com.au



02 FRONT ELEVATION - NORTH



03 REAR ELEVATION - SOUTH



04 SIDE ELEVATION - EAST

BASIX COMMITMENTS

ATTACHED DWELLINGS - N. 01, 03, 05, 07, 09

WATER OPTIONS

FIXTURES
shower-heads - 3 star rated
toilets flushing system - 4 star rated
kitchen taps
LANDSCAPE
indigenous species

ENERGY COMFORT

HOT WATER
individual solar (electric boosted)
BATHROOM
natural ventilation
KITCHEN / LAUNDRY
individual fan, ducted manual on / off
LIVING / BEDROOM
air conditioning
cooling / heating - 4 star

THERMAL COMFORT
required external wall insulation = R 1.0
required ceiling insulation = R 3.0
required glazing windows 3mm clear
U ≤ 6.57 and SHGC = 0.74 ± 10%

INTERNAL FLOOR AREA 95.46 sqm

ISSUE FOR DA SUBMISSION

HOUSE PLAN ELEVATIONS

DWELLING B1

Architecture Planning Urban Design

GALSTON GRANGE

392 GALSTON ROAD

GALSTON

DA-32

1:100 (A3)

SCALE

JULY 2010

DATE

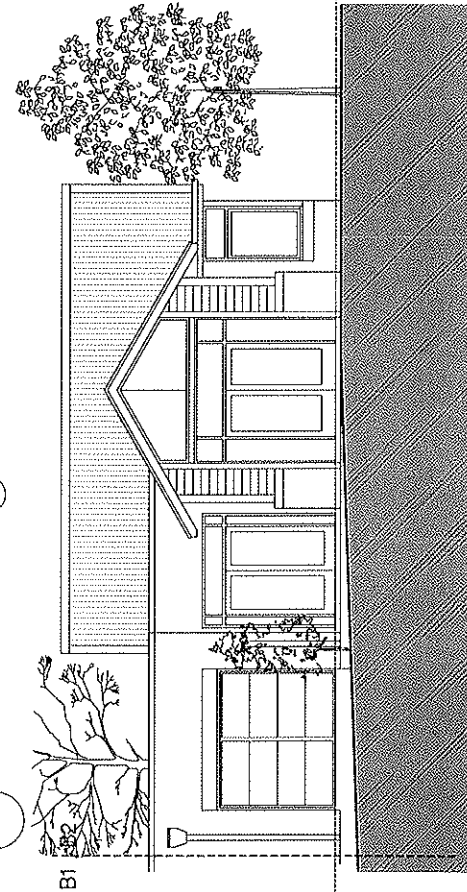
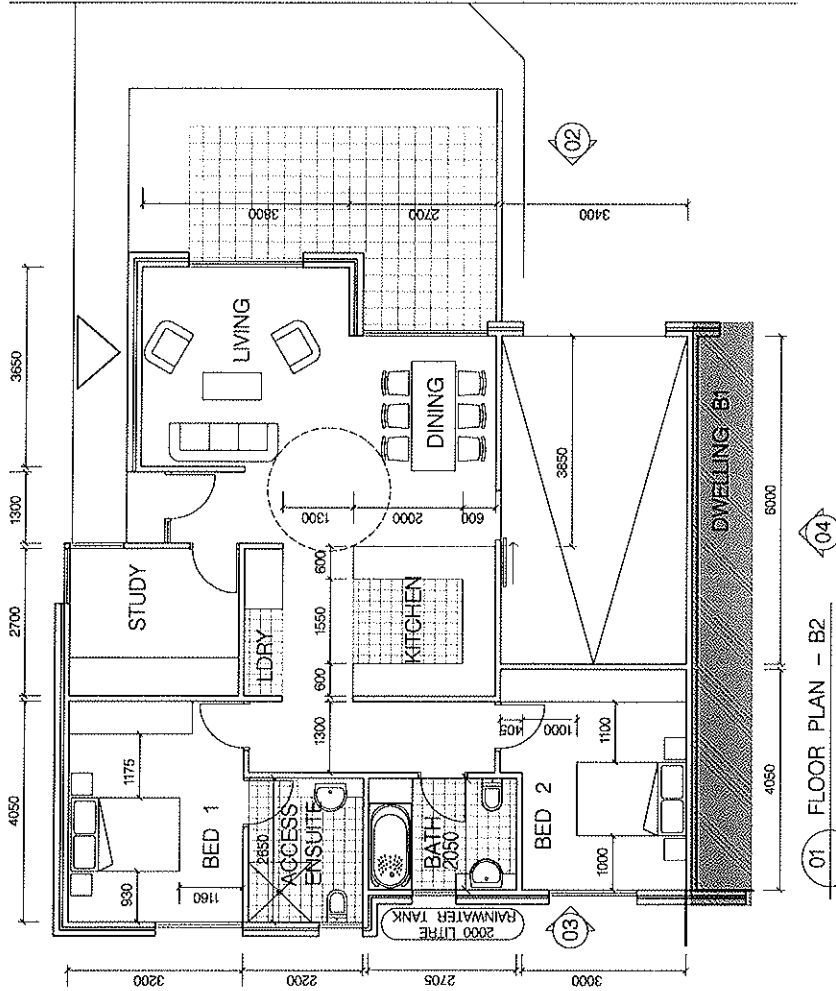
17 90 Pitt Street Sydney NSW 2000

TEL 9223 0280 FAX 9223 0283

mail@arcarchitects.com.au

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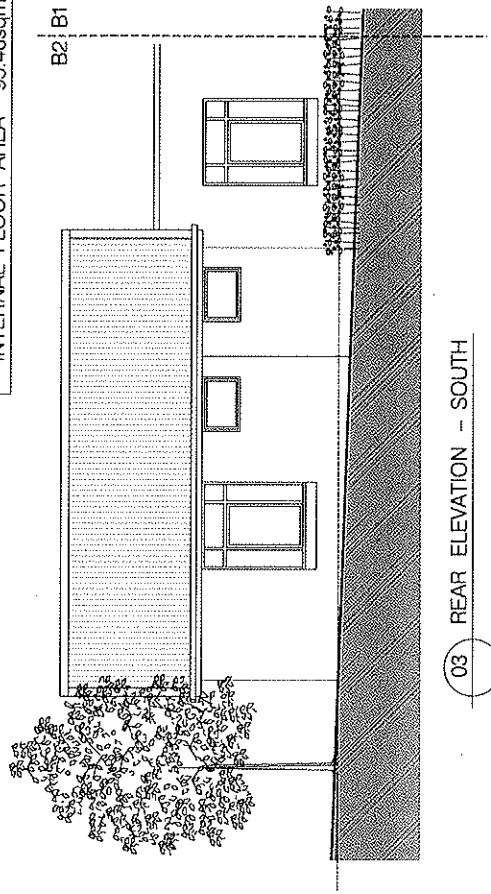


02 FRONT ELEVATION - NORTH

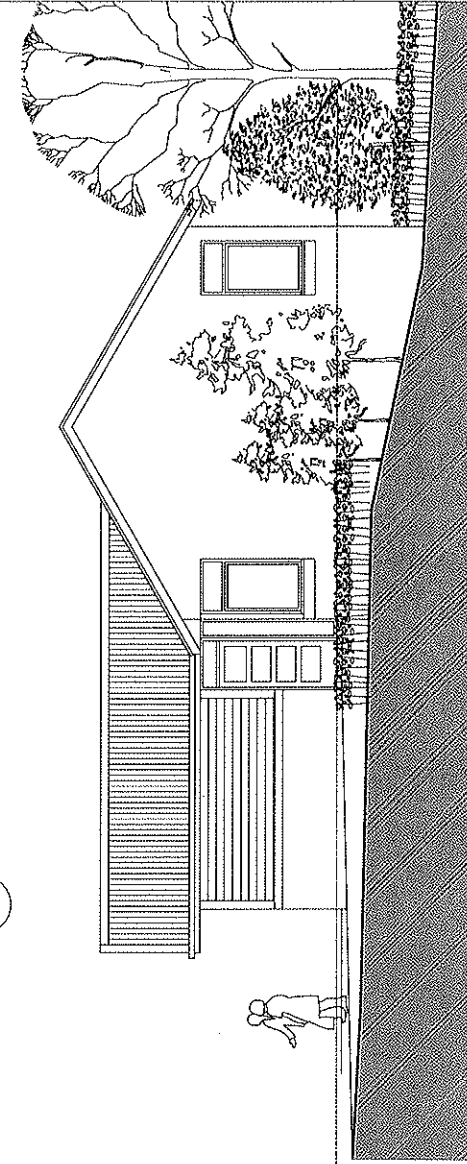
BASIX COMMITMENTS
 ATTACHED DWELLINGS - N. 02, 04, 06, 08, 10

WATER OPTIONS	ENERGY COMFORT
FIXTURES	HOT WATER
shower-heads - 3 star rated	individual solar (electric boosted)
toilets flushing system - 4 star rated	BATH-ROOM
kitchen taps / bathroom - 5 star rated	natural ventilation
LANDSCAPE	KITCHEN / LAUNDRY
indigenous species	individual fan assisted manual on / off
THERMAL COMFORT	LIVING / BEDROOM
required external wall insulation = R 1.0	air conditioning - 4 star
required ceiling insulation = R 3.0	cooling / heating - 4 star
required glazing windows 3mm clear	
U ≤ 6.57 and SHGC = 0.74 ± 10%	

INTERNAL FLOOR AREA 95.46sqm



03 REAR ELEVATION - SOUTH



04 SIDE ELEVATION - WEST

ISSUE FOR DA SUBMISSION

HOUSE PLAN, ELEVATIONS	DWELLING B2	Architecture Planning Urban Design
GALSTON GRANGE	DA-33	L7 90 Pitt Street Sydney NSW 2000
392 GALSTON ROAD	SCALE: 1:100 (A3)	TEL 9223 0280 FAX 9223 0283
GALSTON	DATE: JULY 2016	mail@arcarchitects.com.au
	DRAWN: MA	

BASIX COMMITMENTS

ATTACHED DWELLINGS - N. 15, 24, 33, 50, 59

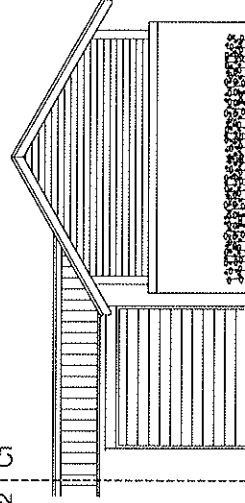
WATER OPTIONS

FIXTURES
shower-heads - 3 star rated
toilets flushing system - 4 star rated
kitchen taps bathroom - 5 star rated
LANDSCAPE
indigenous species

ENERGY COMFORT
HOT WATER
individual solar (electric booster)
BATHROOM
natural ventilation
KITCHEN / LAUNDRY
individual fan, ducted manual on / off
LIVING / BEDROOM
air conditioning
cooling / heating - 4 star

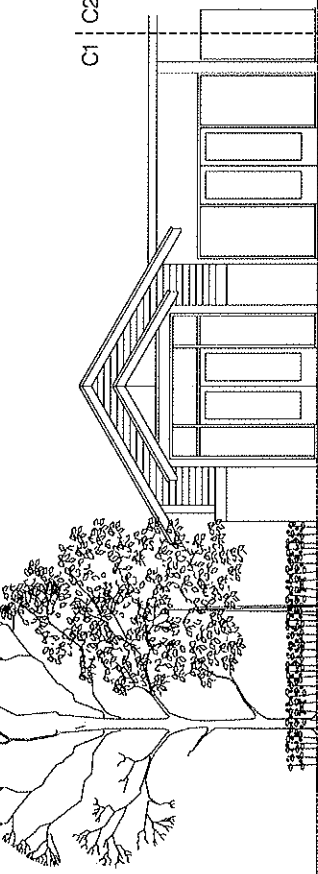
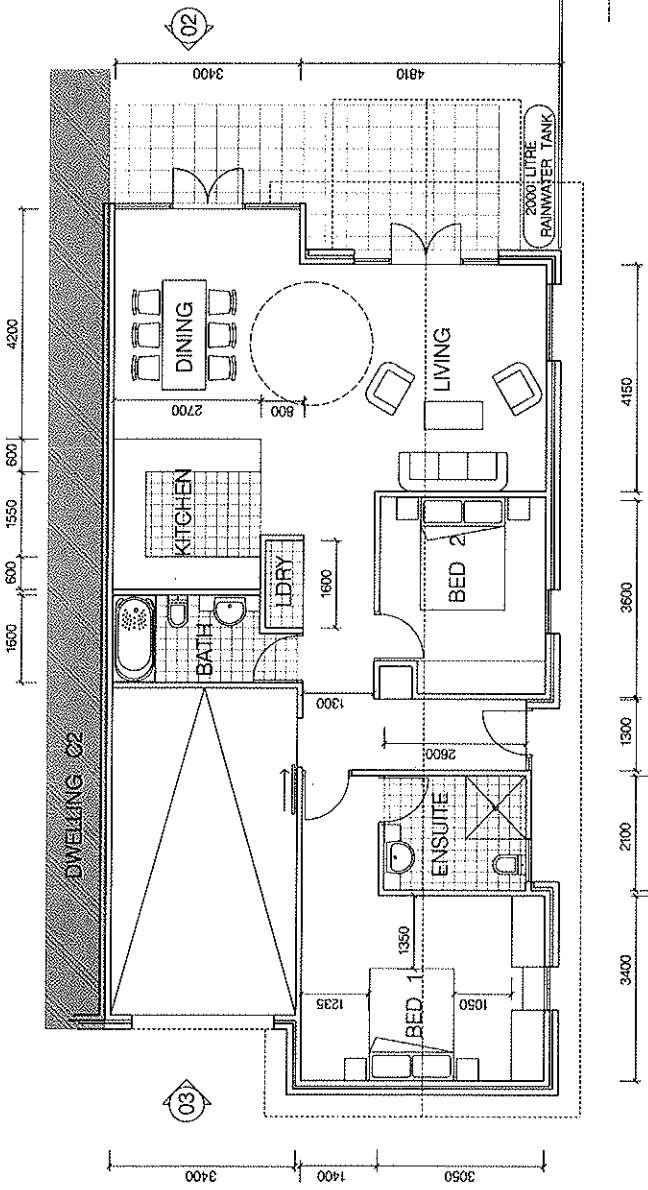
INTERNAL FLOOR AREA 95.41 sqm

C2
C1

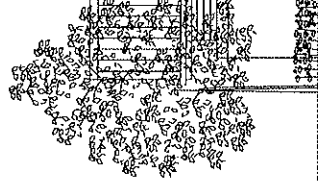


03 FRONT ELEVATION - SOUTH

01 FLOOR PLAN - C1



02 REAR ELEVATION - NORTH



04 SIDE ELEVATION - EAST

ISSUE FOR DA SUBMISSION

HOUSE PLAN, ELEVATIONS

DWELLING C1

DA-34

1:100 (A3)

GALSTON GRANGE

392 GALSTON ROAD

GALSTON

DATE: JULY 2006
DRAWN: MA

Architecture Planning Urban Design

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BASIX COMMITMENTS

ATTACHED DWELLINGS - N. 16, 25, 34, 49, 58

WATER OPTIONS

FIXTURES
shower-heads - 3 star rated
toilets flushing system - 4 star rated
kitchen taps / bathroom - 5 star rated
LANDSCAPE
indigenous species

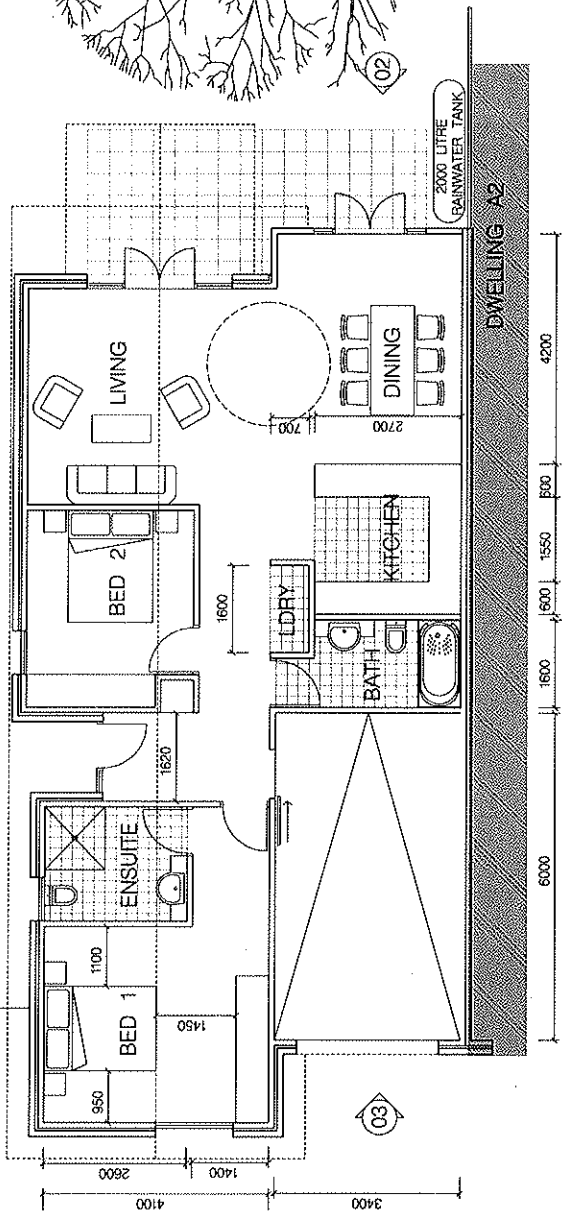
THERMAL COMFORT

required ceiling insulation = R 2.0
required glazing windows 3mm clear
U=5.6/7 and SHGC=0.74 ± 10%

ENERGY COMFORT

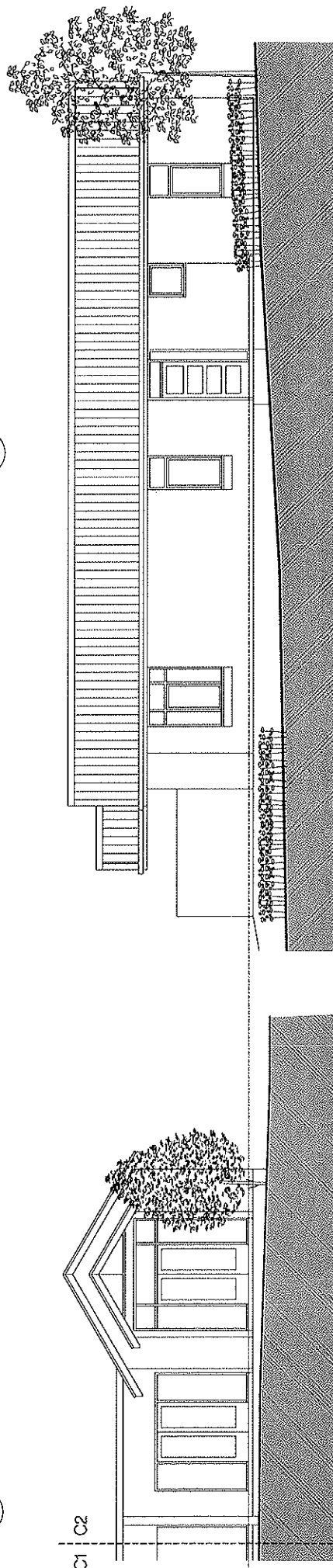
HOT WATER
individual solar (electric boosted)
BATHROOM
natural ventilation
KITCHEN / LAUNDRY
individual fan, ducted manual on / off
LIVING / BEDROOM
air conditioning
cooling / heating - 4 star

INTERNAL FLOOR AREA 93.55 sqm



01 FLOOR PLAN - C1

03 FRONT ELEVATION - SOUTH



02 REAR ELEVATION - NORTH

04 SIDE ELEVATION - WEST

ISSUE FOR DA SUBMISSION

HOUSE PLAN, ELEVATIONS

DWELLING C2

Architecture Planning Urban Design

GALSTON GRANGE

DA-35

L7 90 Pitt Street Sydney NSW 2000

392 GALSTON ROAD

SCALE: 1:100 (A3)

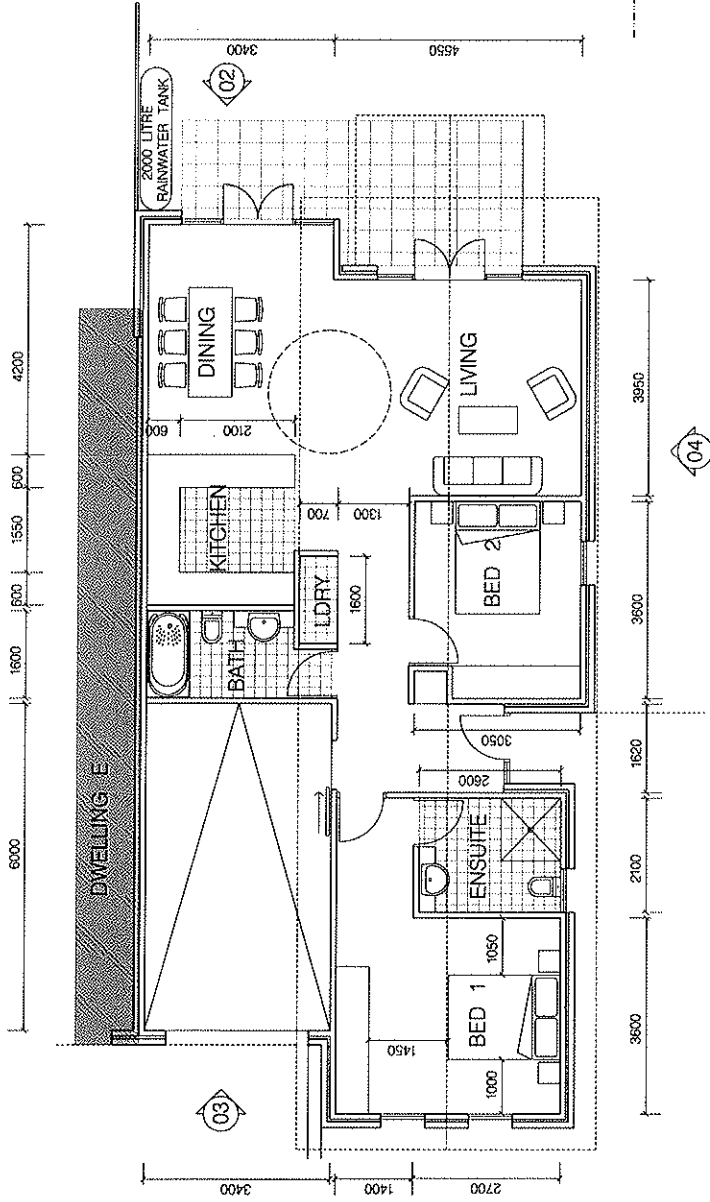
TEL 9223 0280 FAX 9223 0283

GALSTON

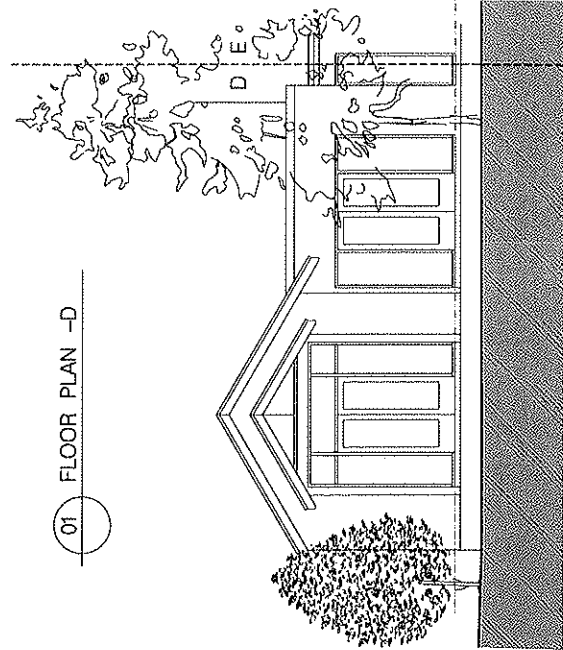
DATE: JULY 2010

mail@arcarchitects.com.au

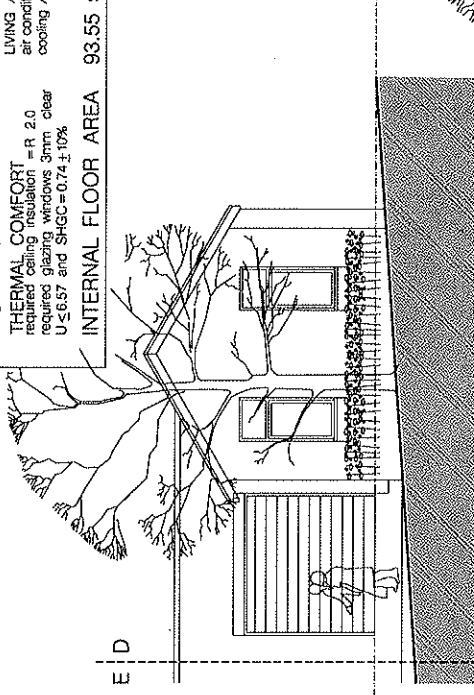




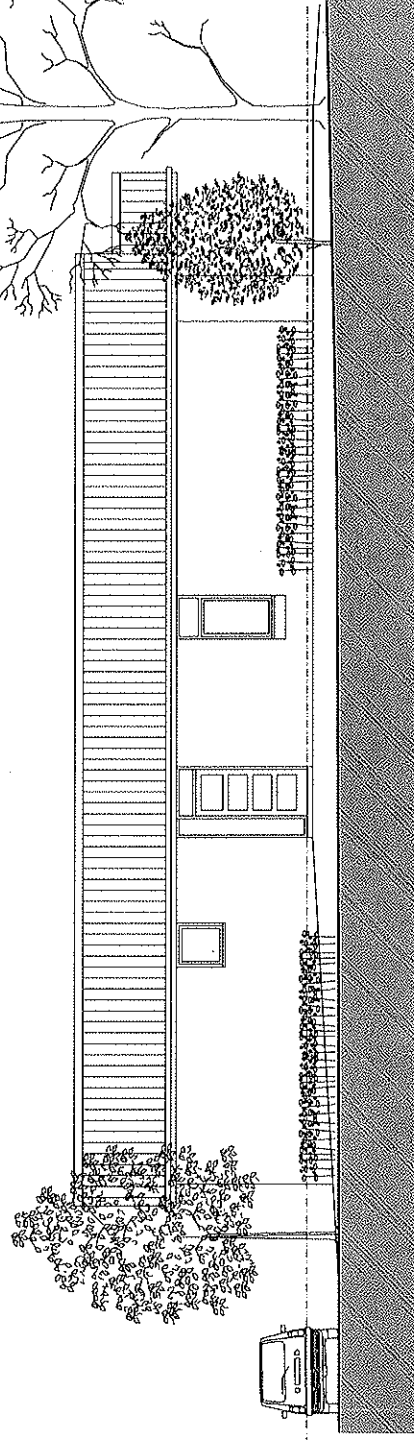
01 FLOOR PLAN - D



02 FRONT ELEVATION - NORTH



03 REAR ELEVATION - SOUTH



04 SIDE ELEVATION - EAST

BASIX COMMITMENTS

ATTACHED DWELLINGS - N.17, 26, 35
MIRROR - 48, 57

WATER OPTIONS

FIXTURES
showers/baths - 3 star rated
toilets flushing system - 4 star rated
kitchen taps/bathroom - 5 star rated
LANDSCAPE
indigenous species

THERMAL COMFORT

required ceiling insulation = R 2.0
required glazing windows 3mm clear
U ≤ 6.57 and SHGC = 0.74 ± 10%

ENERGY COMFORT

HOT WATER
individual solar (electric booster)
BATHROOM
natural ventilation
KITCHEN / LAUNDRY
individual fan, ducted manual on / off
LIVING / BEDROOM
air conditioning
cooling / heating - 4 star

INTERNAL FLOOR AREA 93.55 sqm



ISSUE FOR DA SUBMISSION

HOUSE PLAN, ELEVATIONS

DWELLING D

Architecture Planning Urban Design

GALSTON GRANGE

DA-36

1:100 (A3)

July 2010

L7 90 Pitt Street Sydney NSW 2000

392 GALSTON ROAD

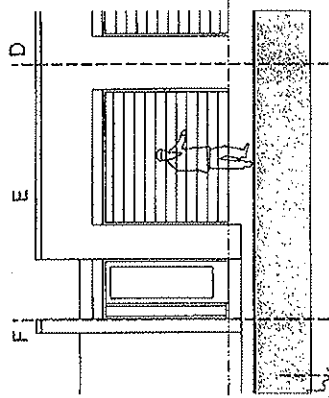
GALSTON

DRAWN

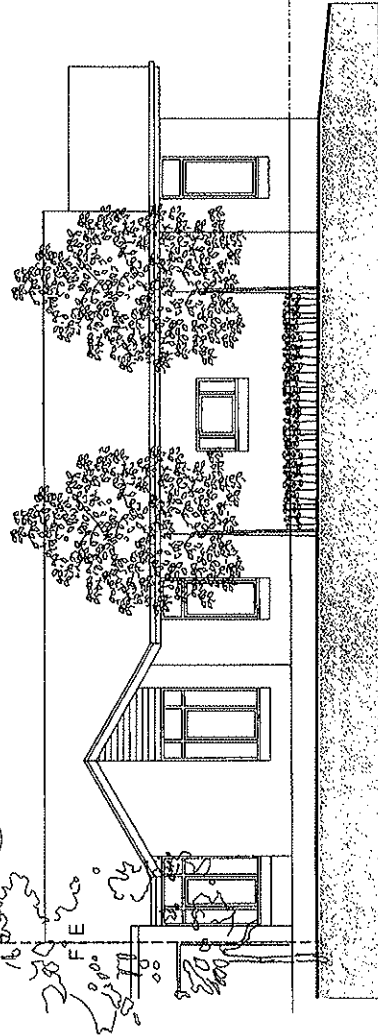
mail@arcarchitects.com.au

TEL 9223 0280 FAX 9223 0283

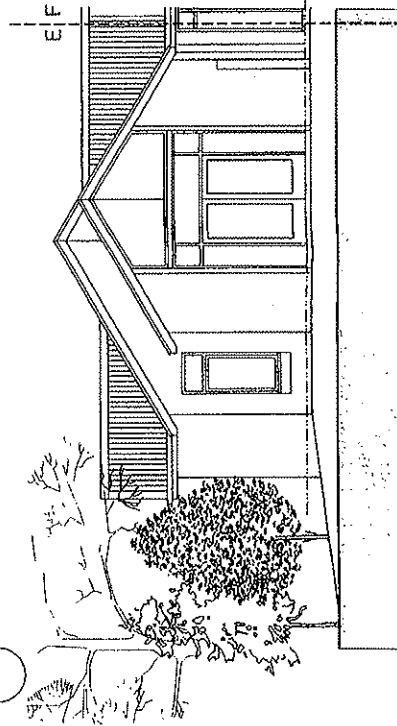
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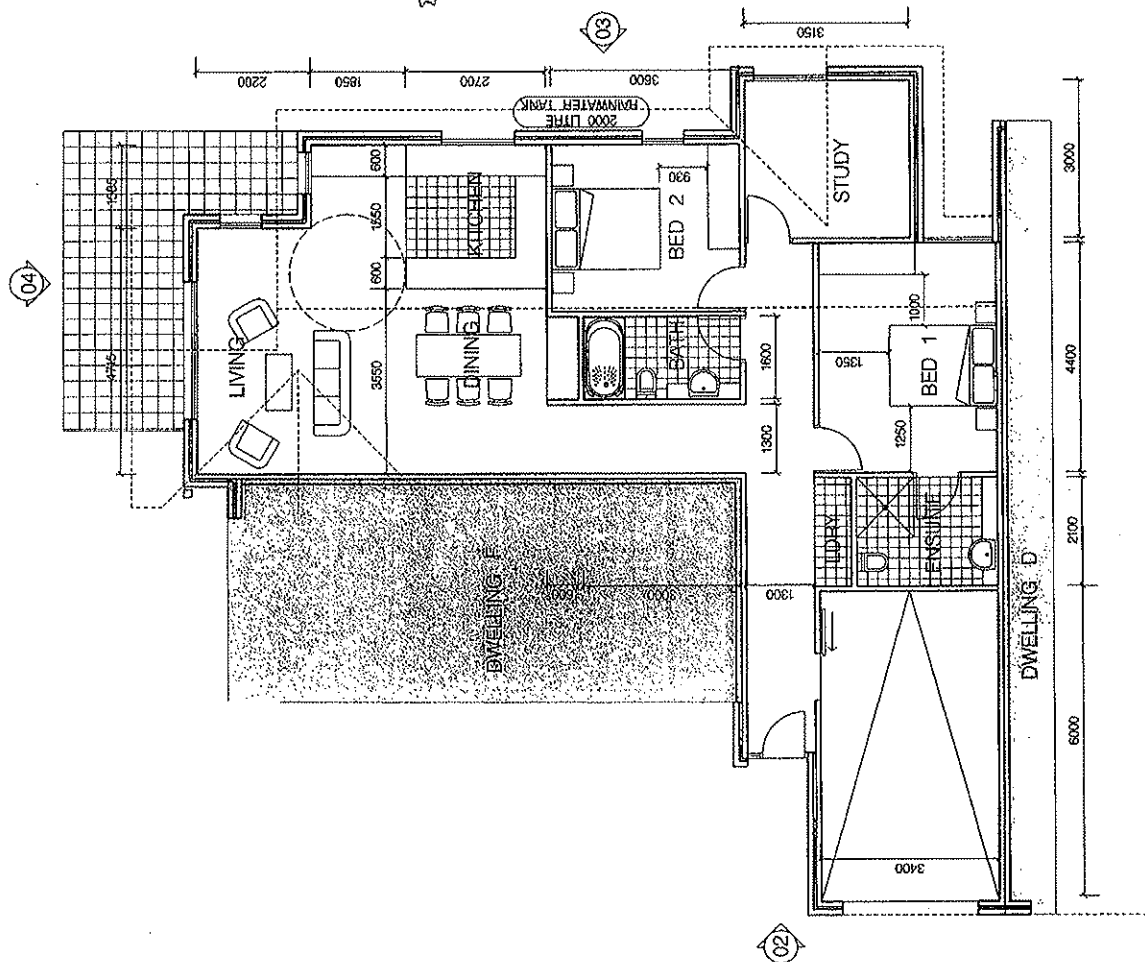
02 FRONT ELEVATION - SOUTH



03 REAR ELEVATION - NORTH



04 SIDE ELEVATION - WEST



01 FLOOR PLAN - E

BASIX COMMITMENTS

ATTACHED DWELLINGS - N.18, 27, 36
MIRROR 45, 56
SIMILAR 66, 69, 74, 77

WATER OPTIONS

FIXTURES
shower-heads - 3 star rated
toilets flushing system - 4 star rated
kitchen tap bathroom - 5 star rated
LANDSCAPE
indigenous species

ENERGY COMFORT

HOT WATER
individual solar (electric booster)
BATHROOM
natural ventilation
KITCHEN / LAUNDRY
individual fan, ducted manual on / off
LIVING / BEDROOM
air conditioning
cooling / heating - 4 star

THERMAL COMFORT

required external wall insulation = R1.0 (69&77)
required ceiling insulation = R 2.0
required glazing windows 3mm clear
U_g ≤ 6.57 and SHGC = 0.74 ± 10%

INTERNAL FLOOR AREA 108.05 sqm

BASIX COMMITMENTS

ATTACHED DWELLINGS - N, 19, 28, 37

MIRROR 46, 55
SIMILAR 67, 68, 75, 76

WATER OPTIONS

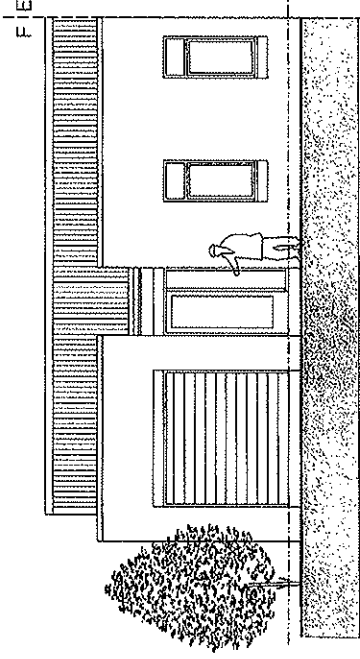
FIXTURES
showers-heads - 3 star rated
toilets - flushing system - 4 star rated
kitchen taps / bathroom - 5 star rated
LANDSCAPE
indigenous species

THERMAL COMFORT
required external wall insulation = R 1.0
required ceiling insulation = R 2.0
required glazing windows 3mm clear
U ≤ 0.57 and SHGC = 0.74 ± 10%
required glazing windows:
Double glazing clear (67, 75)
U ≤ 0.27 and SHGC = 0.61 ± 10%
Triple glazing windows:
Single pane (68, 76)
U ≤ 0.17 and SHGC = 0.64 ± 10%

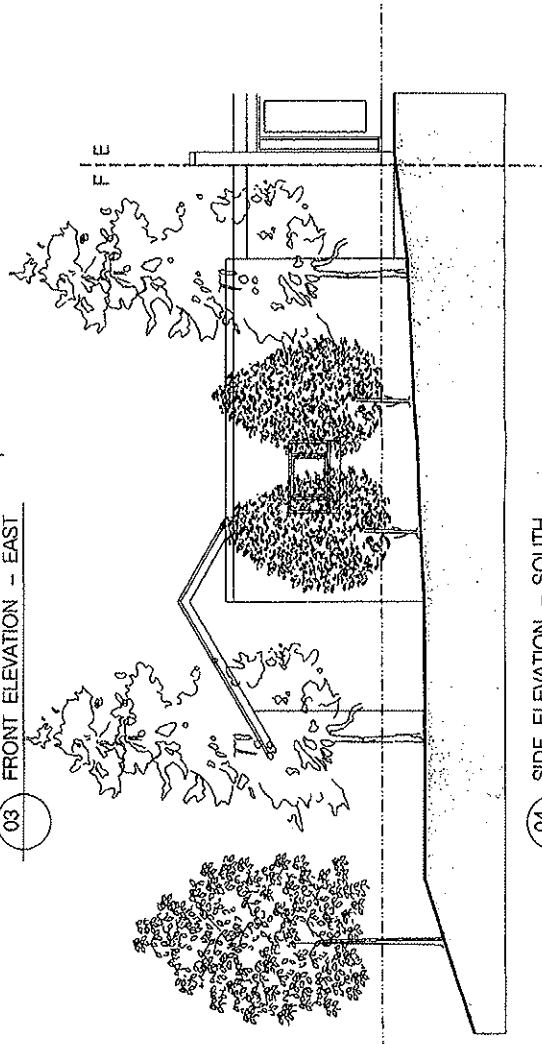
ENERGY COMFORT

HOT WATER
individual solar (electric booster)
BATHROOM
natural ventilation
KITCHEN / LAUNDRY
individual fan, ducted manual on / off
LIVING / BEDROOM
air conditioning
cooling / heating - 4 star

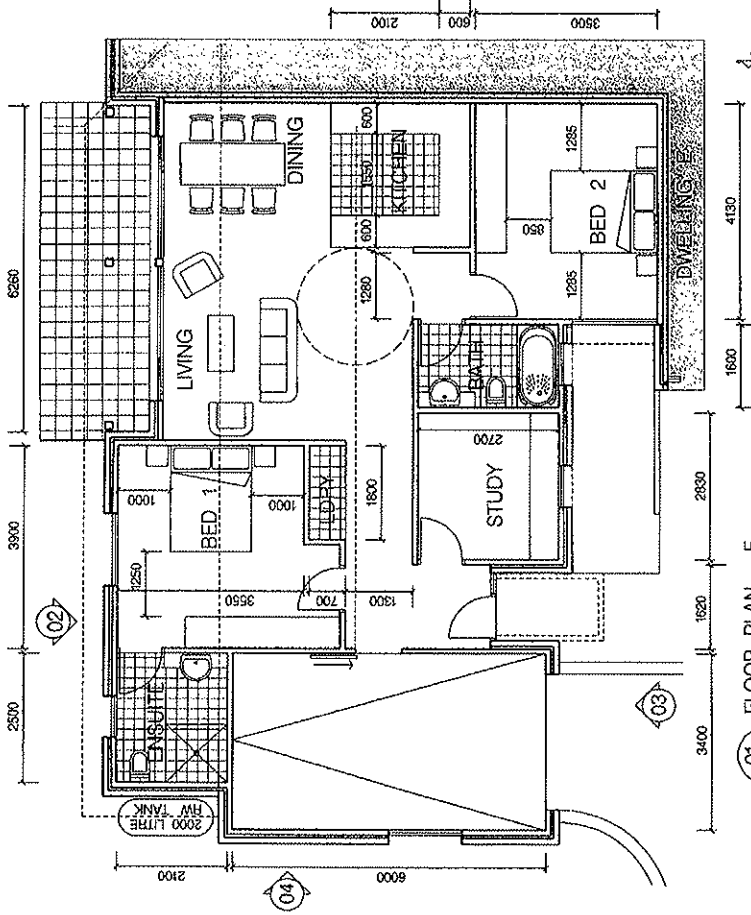
GROSS UNIT AREA 94.03 sqm



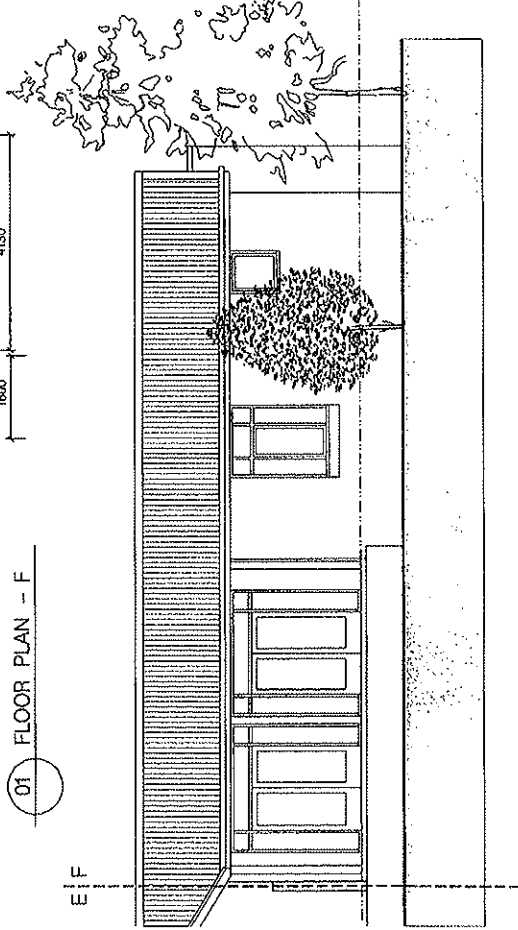
03 FRONT ELEVATION - EAST



04 SIDE ELEVATION - SOUTH



01 FLOOR PLAN - F



02 REAR ELEVATION - WEST

ISSUE FOR DA SUBMISSION

HOUSE PLAN, ELEVATIONS	DWELLING F	Architecture Planning Urban Design
GALSTON GRANGE	DA-38	L7 90 Pitt Street Sydney NSW 2000
392 GALSTON ROAD	SCALE: 1:100 (A3)	TEL 9223 0280 FAX 9223 0283
GALSTON	DATE: JULY 2009	mail@arcarchitects.com.au
	DRAWN: MA	



BASIX COMMITMENTS

ATTACHED DWELLINGS - N. 11, 20, 29
MIRROR 54, 63

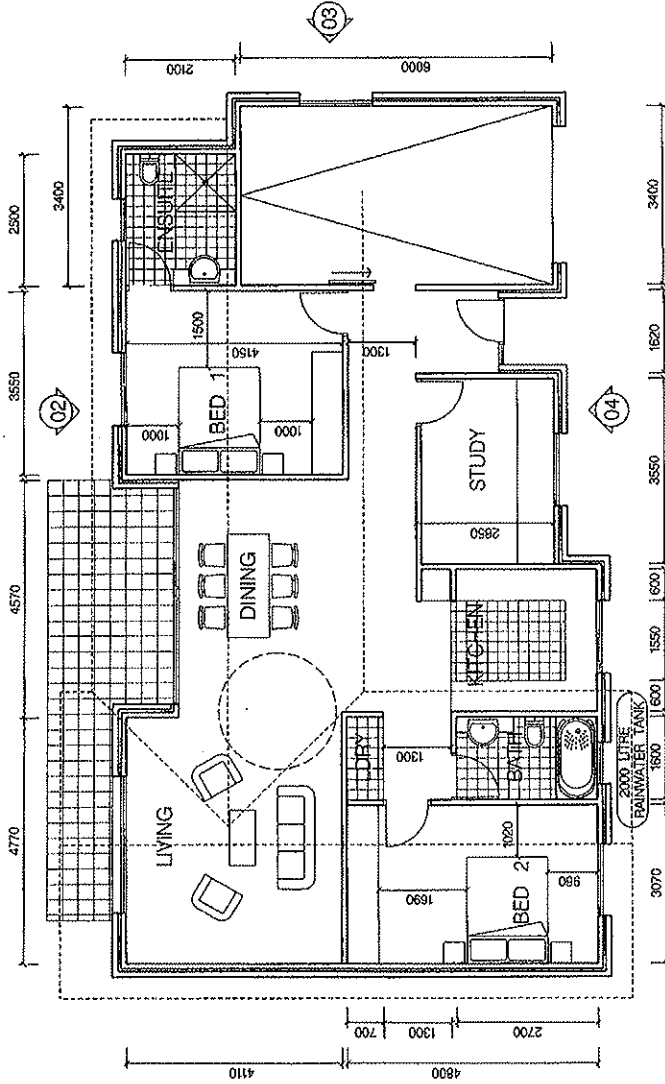
WATER OPTIONS

FIXTURES
shower-heads - 3 star rated
toilets flushing system - 4 star rated
kitchen taps / bathroom - 5 star rated
LANDSCAPE
indigenous species

ENERGY COMFORT
HOT WATER
individual solar (electric boosted)
BATHROOM
natural ventilation
KITCHEN / LAUNDRY
individual fan, boosted manual on / off
LIVING / BEDROOM
air conditioning
cooling / heating - 4.5 star

THERMAL COMFORT
required external wall insulation = R 1.0
required ceiling insulation = R 2.0
required glazing windows 3mm clear
U ≤ 0.57 and SHGC = 0.74 ± 10%

GROSS UNIT AREA 111.68 sqm



01 FLOOR PLAN - G

03 FRONT ELEVATION - SOUTH

02 REAR ELEVATION - NORTH

04 SIDE ELEVATION - EAST

ISSUE FOR DA SUBMISSION

HOUSE PLAN, ELEVATIONS	DWELLING G	Architecture Planning Urban Design
GALSTON GRANGE	DA-39	L7 90 Pitt Street Sydney NSW 2000
392 GALSTON ROAD	SCALE: 1:100 A3	TEL 9223 0280 FAX 9223 0283
GALSTON	DATE: JULY 2000	mail@arcarchitects.com.au
	DRAWN: MA	



BASIX COMMITMENTS

ATTACHED DWELLINGS - N.12, 21, 30
MIRROR 53, 62

WATER OPTIONS

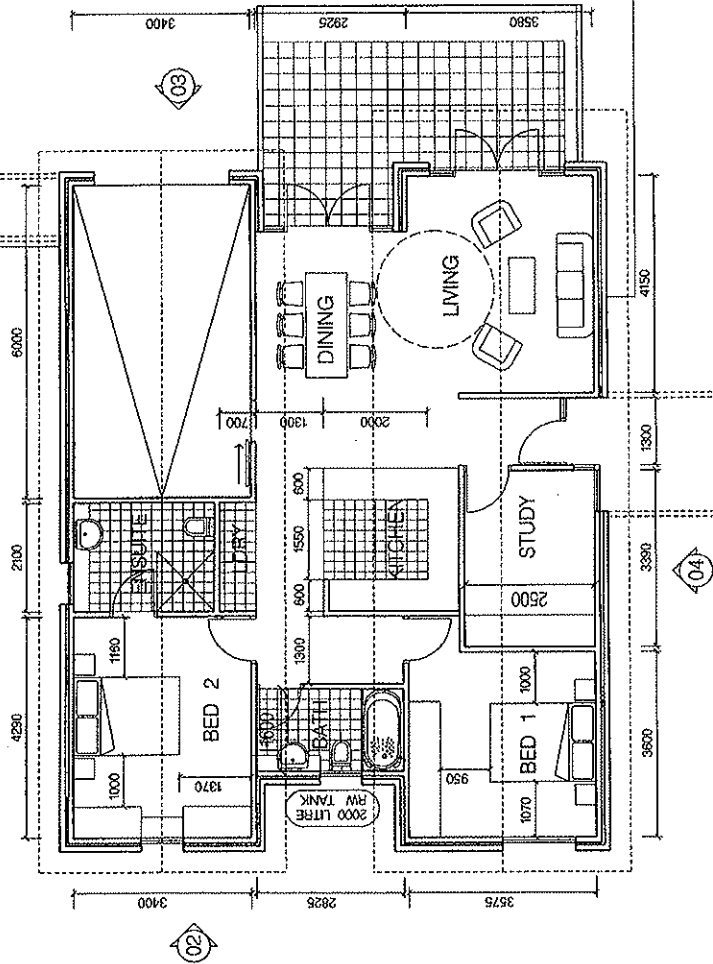
FIXTURES
shower-heads - 5 star rated
toilets flushing system - 4 star rated
kitchen taps - 4 star rated
LANDSCAPE
indigenous species

ENERGY COMFORT

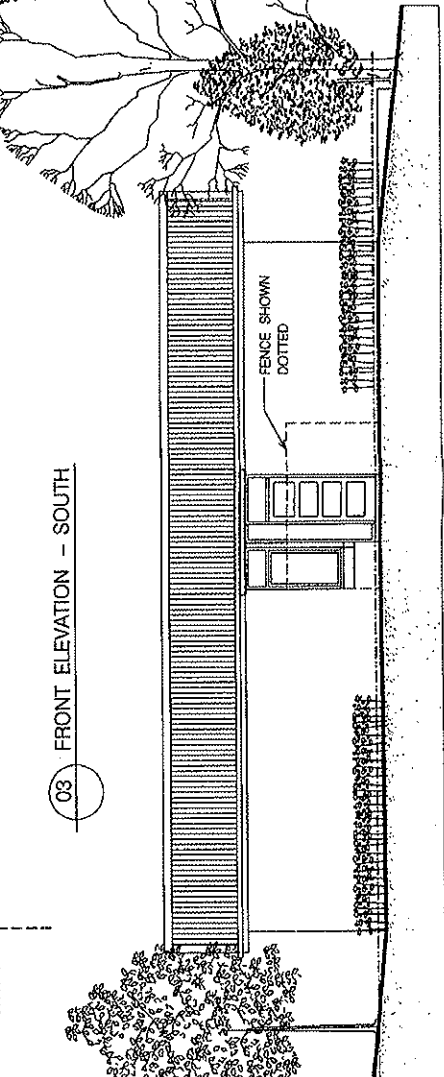
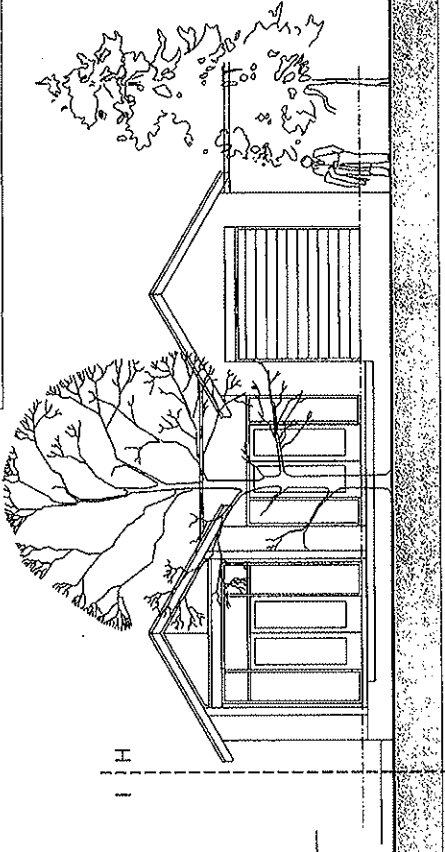
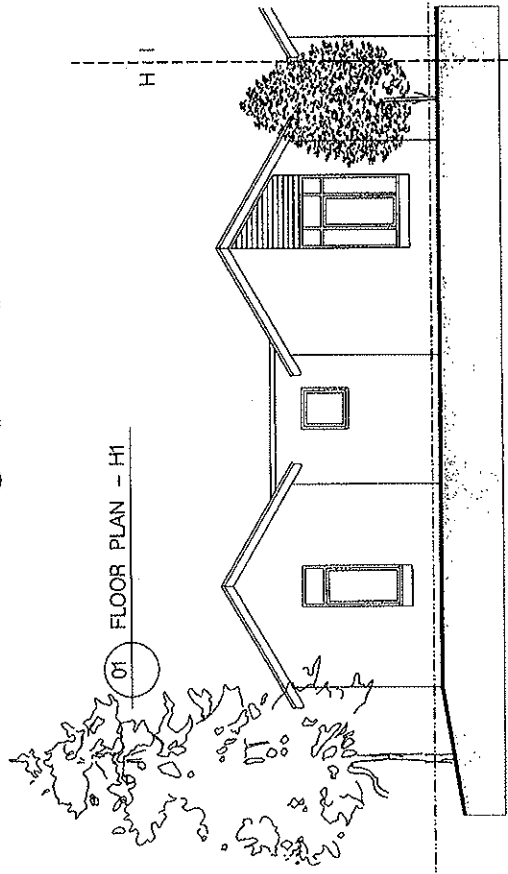
HOT WATER
individual solar (electric boosted)
BATH-ROOM
natural ventilation
KITCHEN / LAUNDRY
individual fan, ducted manual on / off
LIVING / BEDROOM
air conditioning
cooling / heating - 4.5 star

THERMAL COMFORT
required external wall insulation = R 1.0
required ceiling insulation = R 2.0
required glazing windows 3mm clear
U ≤ 6.57 and SHGC = 0.74 ± 10%

INTERNAL FLOOR AREA 97.60 sqm



01 FLOOR PLAN - H1



ISSUE FOR DA SUBMISSION

HOUSE PLAN ELEVATIONS	DWELLING H	Architecture Planning Urban Design
GALSTON GRANGE	DA-40	L7 50 Pitt Street Sydney NSW 2000
392 GALSTON ROAD	SCALE: 1:100 (A3)	TEL 9223 0280 FAX 9223 0283
GALSTON	DATE: JULY 2010	mail@arcarchitects.com.au
	DOWN	

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BASIX COMMITMENTS

ATTACHED DWELLINGS - N.13, 22, 31

MIRROR 52, 61

WATER OPTIONS

FIXTURES
showers-heads - 3 star rated
toilets flushing system - 4 star rated
kitchen taps / bathroom - 5 star rated
LANDSCAPE
indigenous species

ENERGY COMFORT
HOT WATER
individual solar (electric booster)
BATHROOM
natural ventilation
KITCHEN / LAUNDRY
individual fan, decided manual on / off
LIVING / BEDROOM
air conditioning
cooling / heating - 4 star
cooling / heating - 4 star

INTERNAL FLOOR AREA 97.46 sqm

INTERNAL FLOOR AREA 97.46 sqm

INTERNAL FLOOR AREA 97.46 sqm

INTERNAL FLOOR AREA 97.46 sqm

INTERNAL FLOOR AREA 97.46 sqm

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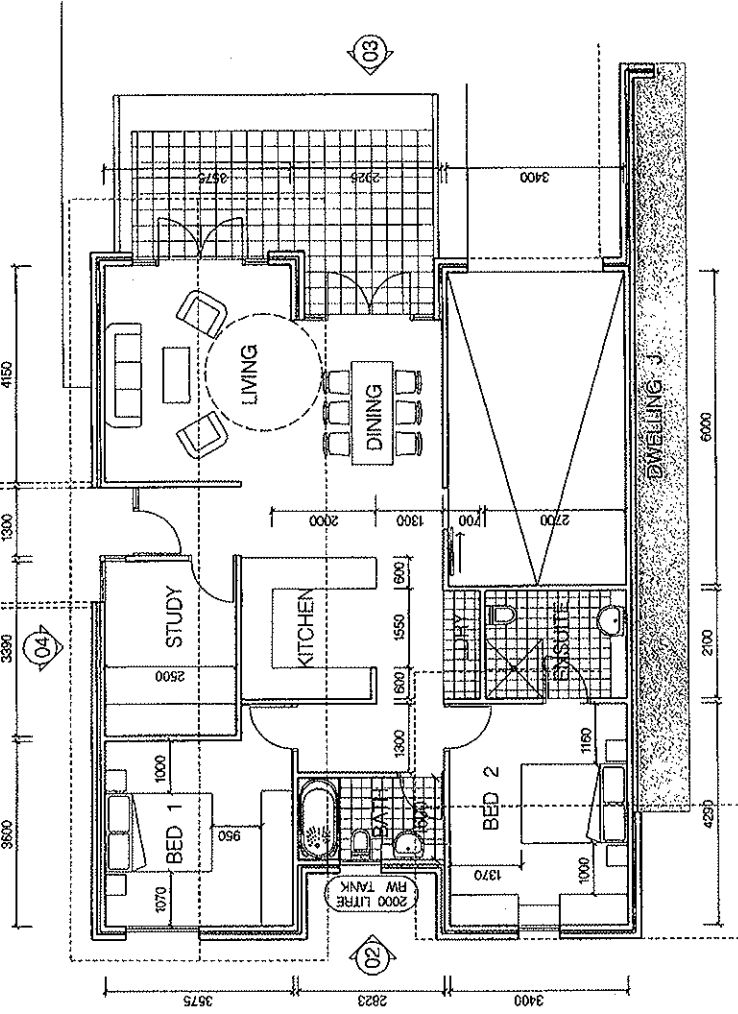
INTERNAL FLOOR AREA 97.46 sqm

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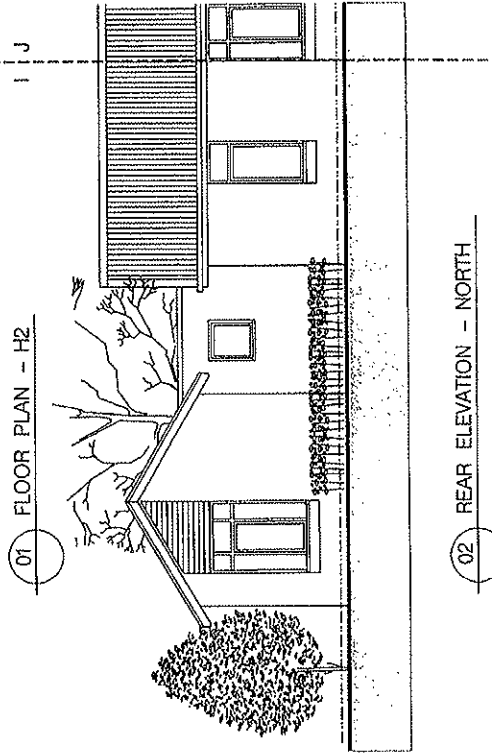
INTERNAL FLOOR AREA 97.46 sqm

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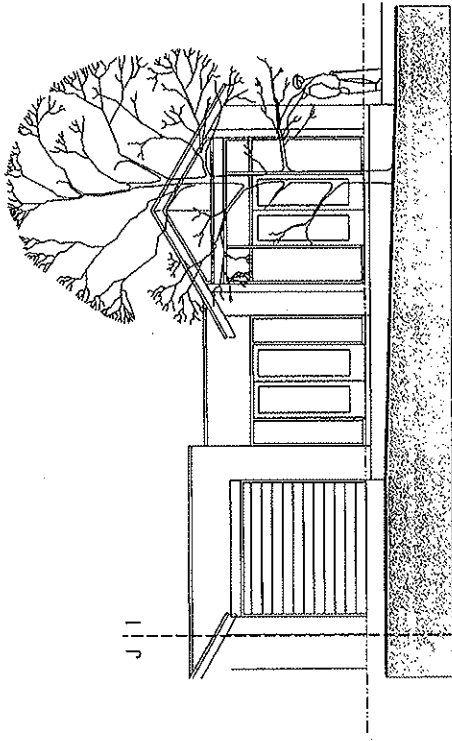
INTERNAL FLOOR AREA 97.46 sqm



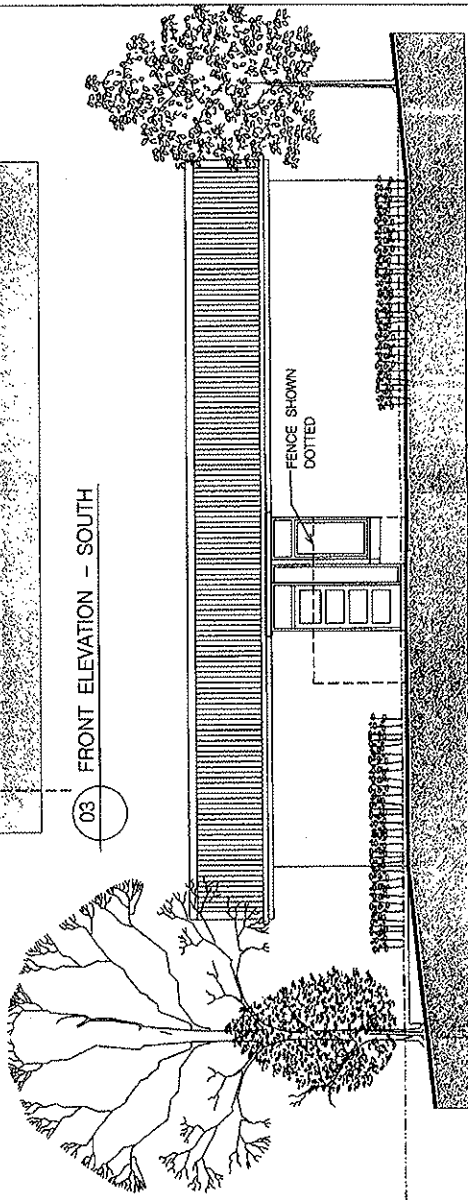
01 FLOOR PLAN - H2



02 REAR ELEVATION - NORTH



03 FRONT ELEVATION - SOUTH



04 SIDE ELEVATION - EAST

ISSUE FOR DA SUBMISSION

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